



Integrated
Consultancy Group

Integrated Building Consultancy Norwest

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**SCOPE OF WORKS
&
TENDER DOCUMENT**

PREPARED FOR:

The Owners - Strata Plan

SUBJECT:

Remedial works to Common Property
and within individual unit areas

SITE ADDRESS:

PREPARED BY:

**Senior Building Consultant -
Mediator**

DATE PREPARED:

17th September 2010

TENDER CLOSING DATE:

OUR REFERENCE:

SOW



Integrated
Consultancy Group



Strata Support Services



Building Consultancy



Contract Administration



EnviroSciences



Fire Consultancy



Forensic Services



Litigation Support

BUSINESS PARTNER



Institute of Strata Title
Management Ltd

Document Control: 20100421

'Leading the way with expert Strata Support Services'

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1 HISTORY

Integrated were requested by the Owners Corporation to inspect and report on items of defective work considered to be the responsibility of the original builder.

The builder had returned to site in the past and effected some predominantly partial repairs, however the works have now ceased and it has been decided to have the works quoted and repaired by others.

2 TENDER CONDITIONS AND INFORMATION

- **This document shall form part of the Contract for the Works. No conditions or standard requirements either expressed or implied in Contractor submissions and quotation shall override this Scope of Works/Specification and the Contract documents.**
- It should be noted that these premises are fully occupied and disruption to the Occupants must be kept to a minimum.
- Safe, free and uninterrupted access to this property must be maintained for all Occupants.
- Access to individual Units will need to be programmed with at least seven (7) days notice in advance given to the occupants.
- Strict adherence to all safety requirements shall be observed with all works to be carried out to Regulatory Authorities' requirements.
- It is essential, irrespective of prevailing site conditions, that this property be protected from all weather elements during the course of these works, particularly water ingress.

Note: Any works in regards to application of Waterproofing Membranes in this document shall not be covered after preparation until that element of the work has been inspected by the Superintendent and approved to be covered.

3 PRELIMINARIES

3.1 CONTRACTOR REQUIREMENTS

All contractors are to visit site to view the works outlined in the Scope of Works. If a contractor quotes without viewing the site, it will be at their own risk.

All work shall be carried out by Contractors who meet the requirements of 3.2 below. All work shall conform to the Building Code of Australia for domestic construction and note should be taken of the relevant Standards and Regulations including but not restricted to –

AS 1170.0 / .1 - 2002	Structural Design Actions
AS 1288-2006	Glass in Buildings. Selection & Installation
AS/NZS 1680.0:1998	Interior Lighting-Safe Movement
AS 2047-1999	Windows in Buildings. Selection & Installation
AS 2311-2000	Painting of Buildings
AS 2870-1996	Residential Slabs and Footings
AS 2904-1995	Damp proof Courses and Flashings
AS/NZS 3500-3.2:1-2003	National Plumbing and Drainage
AS 3600-2001	Concrete Structures
AS 3700-2001	Masonry Code
AS 3727-1993	Guide to Residential Pavements
AS 3740-2004	Waterproofing of Wet Areas within Residential Buildings
AS 3958.1-1991	Ceramic Tiles

All work shall meet WorkCover requirements for safe working practices.

3.2 LICENCING

The Contractor and the Contractor's Sub-Contractor/s shall be fully qualified Tradesmen and be suitably licensed by the Office of Fair Trading for the nominated works. The Contractor shall also comply with all Local Government and Statutory Authorities' requirements and pay any appropriate fees.

3.3 INSURANCE

The Contractor shall issue the Superintendent with an appropriate Home Warranty Insurance Certificate if the value of the works exceeds \$12,000 inclusive of GST as required by the Home Building Act 1989.

The Insurance Policy shall be unit and/or project specific for statutory period and be for the full Contract sum.

The Contractor shall provide Certificates of Currency for Workers Compensation and Public Liability Insurances.

The Contractor shall arrange "Contract Works Insurance" to protect the construction from vandalism, fire and tempest for the construction period, for the minimum value of the contract works plus 10% for demolition in case of fire or tempest. All Insurance certificates must be provided to the Superintendent prior to the commencement of any works and shall specifically indemnify the Proprietors from any risks whatsoever arising from the works.

3.4 OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS

The Contractor, their Sub Contractors and any staff that are to attend site shall have completed the Occupational Health and Safety Induction and Training for Construction prior to commencing work on site.

The successful tenderer shall provide the Superintendent or the Owners of the property a copy of the Occupational Health & Safety Certificate at the time of providing a Safe Work Method Statement that:

- (a) describes how the work is to be carried out, and
- (b) identifies the work activities assessed as having safety risks, and
- (c) identifies the safety risks, and
- (d) describes the control measures that will be applied to the work activities.

or as set out in Part 8.3 and 8.4 of the Occupational Health and Safety Regulations 2001.

The Contractor shall be responsible for ensuring his staff and the tools, equipment and access materials that they are required to use are all in accordance with the above Occupational Health and Safety Regulation.

3.5 SITE CONDITIONS

- The Contractor shall have visited the site to familiarise themselves with all aspects of the works.
- The Contractor shall provide adequate protection for all adjoining and adjacent building elements. Any damage sustained as a result of the Contractor or their Sub-Contractor's work shall be repaired/replaced to the Superintendents satisfaction without cost to the Client and shall be completed within the Contract period.

- The contractor is responsible and shall allow for all types of site access, scaffold, ladders, hoists as well as barricades, hoardings and or temporary fences.
- The contractor is responsible for and shall allow for any and all Council and regulatory authority fees and permits.
- Hours of work shall be between the hours of 7.00am to 5.00pm Monday to Friday. Work required outside of these times may be arranged with the Site Superintendent, but additional costs will not be accepted unless a written variation is sought and approved.
- The site shall be progressively cleaned of works debris on a daily basis with final clean prior to hand-over.
- Strict adherence to all safety requirements shall be observed and all works are to be carried out in accordance with Local Government and Council requirements with emphasis on safe working conditions. (See 3.4 above).
- Personal safety wear is to be provided by the Contractor for all site personnel and to be utilised at all times.
- Identify, locate, secure and protect all existing services within the premises.
- Prop and secure all elements that may be subject to vibration or movement from the proposed works.
- It is essential that the Contractor give due consideration to the environmental conditions within which this property exists. It will be the Contractor's responsibility to ensure, for example, galvanising to correct thicknesses, stainless steel components of the correct grade and similar issues should be adhered to.
- Appropriate separation for dissimilar materials should be allowed for to avoid any form of corrosion or cracking.
- No Contractor parking shall be allowed on site, unless approved by the Site Superintendent.
- Storage sheds if required or nominated are to be supplied by the Contractor and located as directed by Superintendent.
- No alcohol, radios, pets or inappropriate language are permitted to be used or brought on site by the Contractor and/or Sub-Contractor personnel.

3.6 CONTRACT

The Contract shall be, unless otherwise agreed, the BC4 Contract as supplied by the Master Builders Association NSW. Sub-Contracting of the whole of the works shall not be permitted. Specialist Sub-Contractors may be engaged by the main Contractor but will not replace or remove the responsibilities of the main Contractor. This Scope of Works and Specifications together with any associated drawings shall form part of the Contract.

3.7 MATERIALS

Products nominated in the Specification shall be used unless approval for substitute products is given by the Superintendent in writing. Substitute product approval shall not be unreasonably withheld if quality and performance can be assured. All products used shall be from a single source/brand and shall be used in strict accordance with Manufacturer's instructions and may be subject to the Manufacturer's inspections from time to time.

The Contractor shall supply all the necessary materials as new unopened units and shall further supply all necessary tools, equipment and access aids to allow the safe and prompt execution of the works.

3.8 COSTINGS

It is essential that all Tenderers provide a conforming Tender by completing all of the details in the Tender Form at the end of this document with **all prices to include GST**.

Note: No Variations to the Contract will be considered unless submitted in writing and no works related to Variations shall be carried out unless approved in writing.

3.9 WARRANTIES

All works shall comply with the Statutory Warranties as set out in the Home Building Act and these warranties are for the statutory period of time (job specific) from the date of the Contract.

- (a) a warranty that the work will be performed in a proper and workmanlike manner and in accordance with the plans and specifications set out in the contract,
- (b) a warranty that all materials supplied by the holder or person will be good and suitable for the purpose for which they are used and

that, unless otherwise stated in the contract, those materials will be new,

- (c) a warranty that the work will be carried out in accordance with and will comply with, this or any other law,
- (d) a warranty that the work will be carried out with due diligence and within the time stipulated in the contract, or if no time is stipulated, within a reasonable time,
- (e) a warranty that, if the work consists of the construction of a dwelling, the making of alterations or additions to a dwelling or the repairing, renovation, decoration or protective treatment of a dwelling, the work will result, to the extent of the work conducted, in a dwelling that is reasonably fit for occupation as a dwelling,
- (f) a warranty that the work and any materials used in doing the work will be reasonably fit for the specified purpose or result, if the person for whom the work is carried out expressly makes known to the holder of the licence or person required to hold a licence, or another person with express or apparent authority to enter into or vary contractual arrangements on behalf of the holder or person, the particular purpose for which the work is required or the result that the owner desires the work to achieve, so as to show that the owner relies on the skill and judgment of the holder or person.

3.10 CONTRACT ADMINISTRATOR

Integrated Building Consultancy Norwest is the Contracts Administrator for the project. Integrated's role is restricted to the exchange of the Contract between the parties, inspection of the works at progress claims, processing of progress claim payment requests and variation requests. Integrated will not act as liaison between the Contractor and the Owners Corporation.

Superintendent Instructions



The Owners Corporation will act in the role of Superintendent. The Owners Corporation will appoint a construction committee and the Contractor shall be advised of person or persons who will disseminate information between the Owners Corporation and the Contractor. No deviation from the Scope of Works is to take place unless approved by the Owners Corporation in writing.

Access

The Contractor will allow full and free access to the Superintendent at all times. The Contractor will also allow access to Integrated Building Consultancy Norwest to carry out progress claim inspections. If the Contractor has a secured site, then the Contractor will give access keys to the Superintendent prior to securing the site.



4 SCOPE OF WORKS AND SPECIFICATION

Please note that photos are to be provided with each progress claim.

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	COMMON PROPERTY AREAS		
	GARAGE		
1	<p>Description: A water leak from the soffit area over car parking space of Unit 6 is evident.</p> <p>The location of the leak has calcium hydroxide laden water dripping onto cars utilising the parking space.</p> <p>This leak renders the designated parking space as not being fit for purpose due to the damage that the mineral laden water will do any cars paintwork.</p> <p>Presently the owner of Unit 6 has attempted to catch and re-direct the leak himself.</p> <p>Cause: The actual cause of the leak is unable to be determined without destructive exploratory works, however it is considered to be due to non collected surface water being able to pass through the slab via small fissures.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Remove and dispose of the existing water collection system employed Supply and install a suitably folded stainless steel soffit gutter under the area of the current leakage fixed to the underside of the concrete soffit using expanding masonry anchors. The gutter is to be specifically manufactured to the required size and shape. The base of the gutter is to be graded to a single drainage position. A 35mm PVC drainage line is to be fitted and sealed to the new soffit gutter. The drainage line is to be fixed to the soffit by adjustable "dropper" style brackets and then run down the nearest masonry wall section to where it is to be cut no more than 50mm from the floor slab to allow for all collected drainage water to run freely to the floor slab. Make good any original finish affected by the remedial works. Clean up on completion. <p>Performance Requirement</p>	 


Address



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
		<ul style="list-style-type: none"> The current soffit leak is to be caught and directed away to ground where it will cause the least inconvenience to the garage owner and no longer allow for mineral slat contaminated waters to drip on to cars utilizing the garage space 	
2	<p>Garage:</p> <p>Description: A water leak from the soffit area to the drive is evident just to the northern side of Unit 3's garage door.</p> <p>The water is presently leaking from around a surface water drainage pipe penetration.</p> <p>The location of the leak has calcium hydroxide laden water dripping onto cars manoeuvring within the drive.</p> <p>Cause: The actual cause of the leak is unable to be determined without destructive exploratory works, however it is considered to be due to a failure with the membrane system employed on the slab top to assist with the catching and re-direction of the surface water.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Supply and install a suitably folded stainless steel soffit gutter under the area of the current leakage fixed to the underside of the concrete soffit using expanding masonry anchors. The gutter is to be specifically manufactured to the required size and shape. The base of the gutter is to be graded to a single drainage position. A 35mm PVC drainage line is to be fitted and sealed to the new soffit gutter. The drainage line is to be fixed to the soffit by adjustable "dropper" style brackets and then run down the nearest masonry wall section to where it is to be cut no more than 50mm from the floor slab to allow for all collected drainage water to run freely to the floor slab. Make good any original finish affected by the remedial works. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The current soffit leak is to be caught and 	

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		directed away to ground where it will cause the least inconvenience to the garage users and no longer allow for mineral slat contaminated waters to drip on to cars utilizing the garage areas	
	Fire Escape, Western		
3	<p>Description: There is no handrail servicing the stairs leading down into the fire escape from the entry foyer servicing Units 1 & 2.</p> <p>The stairs in their current state pose a safety concern due to there being no suitable place to steady the user in case of a stumble.</p> <p>Cause: The stairs were not constructed correctly in relation to the handrail provisions.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Supply and install a welded steel handrail along one wall over the stairs. The handrail is to match those used within the remaining areas of the escape for specification and finish. The installation is to comply with the current BCA regulations. Make good any original surface finish affected by the remedial works Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The effected stairs are to have a suitable handrail installed (matching the existing) ensuring compliance is achieved with the BCA provisions for handrail design and installation 	
	Fire Escape, Eastern		
4	<p>Description: There is no handrail servicing the stairs leading down into the fire escape from the entry foyer servicing Unit 3.</p> <p>The stairs in their current state pose a safety concern due to there being no suitable place to steady the user in case of a stumble.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Supply and install a welded steel handrail along one wall over the stairs. The handrail is to match those used within the remaining areas of the escape for specification 	

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>Cause: The stairs were not constructed correctly in relation to the handrail provisions.</p>	<p>and finish.</p> <ul style="list-style-type: none"> The installation is to comply with the current BCA regulations. Make good any original surface finish affected by the remedial works Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The effected stairs are to have a suitable handrail installed (matching the existing) ensuring compliance is achieved with the BCA provisions for handrail design and installation 	
5	<p>Fire Escape, Eastern</p> <p>Description: There is no light to service the main north/south corridor leading to the garage discharge point.</p> <p>This area is left in comparative darkness and would leave this last section difficult to traverse in times of an emergency evacuation.</p> <p>Cause: A light was not installed to provide ample illumination.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Electrician to supply and install an additional overhead light to the corridor. The light fitting to be used is match the lights used in the other areas within the fire escape. The replacement light can be connected to the nearest light fitting using ceiling fixed grey electrical conduit. The positioning of the new light is not to impinge on the overall visibility of the Exit safety sign Make good any original surface finish affected by the remedial works Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The darkened area of the stairs is to be illuminated sufficiently (without adversely 	



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		effecting the existing Exit sign) so as to ensure safe and unhindered passage in the time of an emergency evacuation	
	Entry Foyer, Western		
6	<p>Description: Previous water damage is evident to the base of the timber panelling on the western elevation wall adjacent to the glass entrance doors.</p> <p>The staining extends along the panels for approx 2000mm and extends up to approx 300mm high.</p> <p>I am instructed the builder had carried out works to the area which had rectified the cause of the water leak; however he was yet to make good the finished surfaces that were affected by the water entry.</p> <p>Dry moisture meter readings would confirm the leak has been fully addressed.</p> <p>Cause: All the works required to correct the original defect and all other consequential damages as a result of the original defect, exploratory and/or remedial works have not been fully completed. I am unable to provide any reason, other than speculation, as to why the builder failed to complete the rectification works.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Carefully remove and dispose of the water damaged timber faced wall sheeting Supply and install replacement matching wall sheeting Stain and or seal the replacement panel so as to match the original for specification and finish Make good all original surface finishes affected as part of the remedial works. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The existing damaged wall panels are to be removed and replaced so the finished panels have no evidence of water damage and match the existing 	
	Entry Foyer, Eastern		
7	<p>Description: A section of floor tile measuring approx' 20mm x 50mm has been erroneously cut out next to the floor mounted swivel point for the western side glass door.</p> <p>This is leaving a highly visual defect</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Mask around all adjoining tiles and provide dust protection for surrounding areas Carefully cut out and remove the effected tile and sufficient original tile bed to allow for new adhesive. 	



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	<p>Cause: The tile was incorrectly cut when initially installing</p>	<ul style="list-style-type: none"> • Allow to diamond saw cut the new (matching) replacement tile in order that it will fit around the parameters of the existing floor mounted swivel point with a uniform 5mm clearance at all cut edges • Fix the new replacement tile using a suitable cementitious based adhesive. • Allow to install colour matched flexible sealant similar in qualities to Sikaflex along all cut joints to where the grout will but up to a metal finish • Allow to grout fill all remaining open joint lines • Make good all original surface finishes affected as part of the remedial works • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The existing poorly installed floor tile is to be removed and replaced with a correctly fitted tile that on completion does not have the appearance of a repair 	
	External Facade, Northern Elevation		
8	<p>Description: Blistering and delamination of the painted finish is evident to the following areas:</p> <ul style="list-style-type: none"> • The base of the front boundary fence columns. • Western face of the shaft wall positioned on the eastern side of the eastern entrance path. • Southern face of the eastern side wall to the eastern side undercover entrance foyer. <p>This is leaving a highly visual defect with the blistering being</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Scrape back and remove all loose and delaminated areas of painted finish to the front elevation area. • In consultation with the paint manufacturer, carry out all necessary preparation to the walls prior to re-painting with an appropriate product from shadow line to shadow line to match the original for texture and colour. 	



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	<p>especially advanced along the base of the boundary fence and at the rear of the shaft wall.</p> <p>Cause: Without the paints being checked and tested by the manufacturer and/or other accredited paint specialist, an exact cause is unable to be determined at this point of time; however it is considered the paint is blistering due to moisture getting into the render behind.</p> <p>The effects of heat and mineral salt growth have caused the paint to delaminate from the base material.</p>	<ul style="list-style-type: none"> Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The currently failed areas of paint are to be stripped back, treated and re-painted so as to prevent a future occurrence of the blistering 	
9	<p>External Façade, Northern Elevation</p> <p>Description: The garbage bin enclosure has a tiled floor, is ringed by masonry walls with no drainage and/or overflow provisions and is set lower than the path leading into it, meaning that water which lands or flows into the garbage enclosure can only be removed by the one floor waste.</p> <p>The waste is a single round 75mm grill which can easily be blocked with two or three leaves from the surrounding landscape trees and shrubs.</p> <p>As a result of this easy blockage, I am instructed the garbage room will regularly fill up with approx 100mm of water effectively making it</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Allow to core drill a 75mm diameter hole through one wall of the enclosure at floor level to act as an overflow if and when the floor drain becomes blocked. Ensure the inside face of the core hole is sparged up using a sand/cement mix so as to fill any exposed voids Allow to paint the inside surface of the core hole so as to match the existing walls for specification and finish Make good all original surface finishes affected as part of the remedial works Clean up on completion. 	




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	<p>not fit for purpose.</p> <p>Cause: The drainage grate is not suitable for its intended use and position due to its ease of blocking with leaf litter and there is no form of overflow provisions.</p>	<p>Performance Requirement</p> <ul style="list-style-type: none"> The core hole is required to act as an overflow in times where the existing inadequate floor drain is blocked or cannot handle the flow required 	
10	<p>External Façade, Northern Elevation</p> <p>Description: The three upper level external balconies have each suffered from water leaks from the box gutter arrangement causing damage to the set joints and painted finish of the sheeted ceiling soffits.</p> <p>I am instructed that in times of heavy rain, water is still seen to be leaking into and through the soffits.</p> <p>At the time of the inspection the soffits registered a dry reading when tested with a moisture meter, however in view of the instructions received by an owner it is considered the dry reading is due to the leaks only occurring in certain climatic conditions and therefore the area has been able to dry fully since the last leak.</p> <p>An on roof inspection was unable to determine any obvious point of water entry, however due to height and access limitations, tiles were not removed.</p> <p>Cause: Without carrying out destructive exploratory works, an exact cause is unable to be determined at this point of time; however it is considered the cause is a defect with the valley flashing to box gutter interface.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Access roof area, remove roof tiles, and carry out all water tests necessary to identify the point of water entry. Correct current source of water entry and prevent any future recurrence. Make good all original surface finishes affected as part of the original leak, exploratory and remedial works. Clean up on completion. P.A of \$6000.00 <p>Performance Requirement</p> <ul style="list-style-type: none"> The current leak source is to be identified and corrected so as to prevent any further occurrences. All affected surface finishes are to be restored to match original specifications and finish 	

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11	<p>External Façade, Northern Elevation</p> <p>Description: The down lights fitted to the soffits of the upper level balconies are all suffering from severe surface corrosion.</p> <p>It should be noted that the positioning of the development is within 500m of the harbour with direct views out to the heads so it is well within a marine environment.</p> <p>Cause: It is considered the light fittings installed were not suitable for the marine environment which has brought on the advanced surface corrosion.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Electrician to remove, dispose and replace the corroded light fittings with new units of the correct grade of 316 stainless steel. Allow to replace the existing transformers and low voltage connection wiring Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The replacement lights are to of the same style and size, however they are to be of a grade of stainless steel which is suitable for the aggressive marine environment and not suffer from premature corrosion 	 
12	<p>External Façade, Northern Elevation</p> <p>Description: I am instructed that when exiting and entering the drive a number of cars (unless extra special care and procedures are used) will</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Cut out, break up, remove and dispose of the final concrete panel prior to the boundary control joint line Drill and install 10mm starter bars at 400 	

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	<p>scrape on the drive at the top adjacent to the footpath crossing.</p> <p>It is noted the drive has a reasonably sharp change of angle just inside the grated drain cover at the top of the drive.</p> <p>Cause: The drive has been set up with a profile at the top which is not suitable to allow for normal vehicle usage.</p>	<p>centres along the mid depth line of the exposed concrete panel edges</p> <ul style="list-style-type: none"> • Re-form and mark the existing perimeter walls for a slightly more rounded profile in from the boundary line • Modify the top of the grated sump to match the new drive profile • Lay new 10mm sheet steel 200mm bar spacing's set on bar chairs • Lay new 25mpa concrete set to the new profile and wood float finished to match the existing • Make good all original surface finishes affected as part of the original leak, exploratory and remedial works. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The drive is to be modified so as to allow the 'average' car to transverse without scraping its underside 	
13	<p>External Façade, Northern Elevation</p> <p>Description: The screw side fixings for the front boundary powder coated fence are all suffering from corrosion.</p> <p>It should be noted that the positioning of the development is within 500m of the harbour with direct views out to the heads so it is well within a marine environment.</p> <p>Cause: It is considered the screws installed had minimal surface protection</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Remove and replace the screw fixings with new marine grade 306 stainless steel units suitable • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The replacement fixings are to be of the same size and style of the existing, however they do not require to be colour matched. 	



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	which was damaged by the act of tightening with a screwdriver leaving them susceptible for early onset of corrosion due to the marine environment.	<ul style="list-style-type: none"> They are to be of a suitable grade stainless steel so as not to suffer from premature corrosion 	
	External Facade, Western Elevation		
14	<p>Description: Vertical cracking had previously been evident to the wall render running up through the line of the two ensuite windows positioned just to the southern side of the garage door opening.</p> <p>I am instructed the builder had returned to site and carried out some works to the cracks which involved cutting out, re-rendering and painting.</p> <p>The result of these works is the render used is not of a suitable quality to match the existing for texture and smoothness and the painted finish is only a patch paint effort of which makes the area of repair highly visible.</p> <p>Cause: The works were not carried out and completed so as to match the original for specification and finish when completed.</p> <p>I am unable to provide any reason other than speculation as to why the builder failed to complete the rectification works to match the existing.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Allow to diamond saw cut the render for a distance of approx 200mm either side of the existing crack line Remove the render back to the base masonry Supply and fix stainless steel expanded mesh over the exposed masonry area Allow to re-render the area using a 6:1:1 mix ensuring the new render is finished off flush with all adjoining surfaces and matches the original for texture and profile. Seal and patch paint the areas of repair prior to re-painting the affected wall areas from shadow line to shadow line. Make good all original surface finishes affected as part of the remedial works Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The area of cracked render is to be removed and replaced and on completion the wall is not to appear to have been patch repaired in that 	

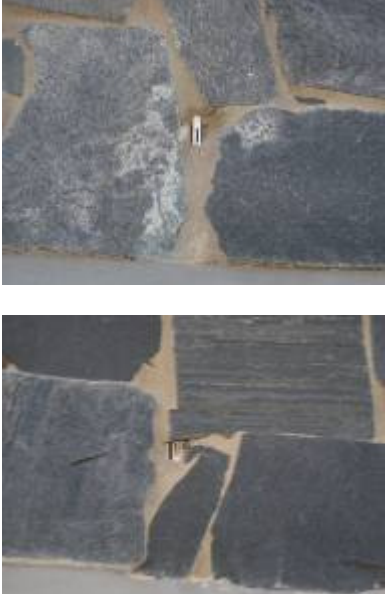

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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
		the finish is to be uniform	
15	<p>External Façade, Western Elevation</p> <p>Description: Failure of the grouting between the decorative stone wall facing sections, above the area of the garage door opening is evident.</p> <p>The grouting has failed in three positions exposing plastic fittings behind.</p> <p>This has left a highly visual defect clearly evident as you drive into the garage.</p> <p>Cause: The plastic fittings have been allowed to intrude into the grout to the point where the overall thickness of the sand/cement grout has</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Cut back the plastic fittings to ensure a minimum grout depth of 10mm can be achieved. • Treat the areas with a bonding agent prior to applying a new colour matched grout to the failed areas. • Acid clean down the decorative stone finish to remove any excessive mortar smearing from the works • Make good any original finish effected as part of the remedial work • Clean up on completion. 	




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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>been lessened to approx 3mm in depth.</p> <p>This minimal depth is unable to accommodate the normal thermal expansion and contraction experienced and, as a result, the grout over the fittings has cracked and failed.</p>	<p>Performance Requirement</p> <ul style="list-style-type: none"> The area of failed render is to be removed and replaced and on completion the wall is not to appear to have been patch repaired in that the finish to grout joint lines are to be uniform 	
16	<p>External Façade, Western Elevation</p> <p>Description: Vertical cracking and delamination to the wall render is evident to the northern end of the beam over the garage door opening at the interface with the stone faced drive wall.</p> <p>The delamination is affecting the last 20mm of the beam for its full height.</p> <p>Small sections of render have already delaminated and fallen.</p> <p>Cause: The cracking is a result of this section of wall being unable to accommodate the movement experienced between it and the side</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Carefully cut back the render to the beam using a straight vertical line forming an open joint line between the rendered beam and stone faced wall of approx 20mm wide. Tape either side of the open joint line and fill with a colour matched external grade flexible sealant formed to be a control joint line. Seal and patch paint the areas of repair prior to re-painting the affected areas from shadow line to shadow line. Clean up on completion. <p>Performance Requirement</p>	



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>drive wall at the interface.</p> <p>Without adequate precautions such as functioning slip and control joints, uncontrolled cracking will be the result.</p>	<ul style="list-style-type: none"> The area of failed render is to be removed and replaced and on completion the wall is not to appear to have been patch repaired 	
	External Facade, Southern Elevation		
17	<p>Description: The three upper level external balconies have each suffered from water leaks from the box gutter arrangement causing damage to the set joints and painted finish of the sheeted ceiling soffits.</p> <p>I am instructed that in times of heavy rain, water is still seen to be leaking into and through the soffits.</p> <p>At the time of the inspection the soffits registered a dry reading when tested with a moisture meter, however in view of the instructions received by an owner it is considered the dry reading is due to the leaks only occurring in certain climatic conditions and therefore the area has been able to dry fully since the last leak.</p> <p>An on roof inspection was unable to determine any obvious point of water entry, however due to height and access limitations, tiles were not removed.</p> <p>Cause: Without carrying out destructive exploratory works, an exact cause is unable to be determined at this point of time; however it is considered the cause is a defect with the valley flashing to box gutter interface.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Access roof area, remove roof tiles, and carry out all water tests necessary to identify the point of water entry. Correct current source of water entry and prevent any future recurrence. Make good all original surface finishes affected as part of the original leak, exploratory and remedial works. Clean up on completion. P.A of \$6000.00 <p>Performance Requirement</p> <ul style="list-style-type: none"> The current leak source is to be identified and corrected so as to prevent any further occurrences. All affected surface finishes are to be restored to match original specifications and finish 	 


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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
			
18	<p>External Façade, Southern Elevation</p> <p>Description: The down lights fitted to the soffits of the upper level balconies are all suffering from severe surface corrosion.</p> <p>It should be noted that the positioning of the development is within 500m of the harbour with direct views out to the heads so it is well within a marine environment.</p> <p>Cause: It is considered the light fittings installed were not suitable for the marine environment which has brought on the advanced surface corrosion.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Electrician to remove, dispose and replace the corroded light fittings with new units of the correct grade of 316 stainless steel. Allow to replace the existing transformers and low voltage connection wiring Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The replacement lights are to of the same style and size, however they are to be of a grade of stainless steel which is suitable for the aggressive marine environment and not suffer from premature corrosion 	
	External Facade, Eastern Elevation		
19	<p>Description: There is no handrail servicing the three stair flights leading down through the garden area to the eastern side of Unit 3.</p> <p>The stairs in their current state pose a safety concern due to there being no suitable place to steady the user in case of a stumble.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Supply and install a handrail to one side over each set of stairs. The handrail is to match those used in other external areas of the development or be sympathetic to the design and quality of the 	

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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>Cause: The stairs were not constructed correctly in relation to the handrail provisions.</p>	<p>materials used as well as being suitable for a marine environment.</p> <ul style="list-style-type: none"> • The installation is to comply with the current BCA regulations. • Make good any original finish affected as apart of the remedial works • Clean up on completion <p>Performance Requirement</p> <ul style="list-style-type: none"> • The effected stairs are to have a suitable handrail installed (matching the existing) ensuring compliance is achieved with the BCA provisions for handrail design and installation 	
20	<p>External Façade, Eastern Elevation</p> <p>Description: An unprotected and accessible fall of in excess of 1m in height is evident to two garden areas positioned to the eastern side of Unit 3.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Supply and install a suitable balustrade to prevent persons from accessing the area to where the unprotected fall is in excess of 1m. • The balustrade is to match those used in other 	



Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>These sections of garden are directly accessible from the garden stairs and in one instance from the side of a path.</p> <p>Cause: No balustrade has been installed to either prevent access, or protect the fall from the nominated area.</p>	<p>external areas of the development, or be sympathetic to the design and quality of the materials used, as well as being suitable for a marine environment.</p> <ul style="list-style-type: none"> Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The effected wall is to have a suitable balustrade installed (matching the existing) ensuring compliance is achieved with the BCA provisions for balustrade design and installation 	
	Roof		
21	<p>Description: I am instructed that during periods of heavy rainfall, water will overflow the eaves gutter in the area just south of the re-entrant corner on the western elevation.</p> <p>Cause: An on roof inspection showed this section of guttering has had the flow rates and capacity greatly diminished by a section of roof sarking which has been allowed to extend into the gutter and partially block. There is also a large build up of debris (sand etc) within the gutter further reducing flow.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Clean out the area of guttering of all builders' debris to ensure the flow is unimpeded. Ensure the falls of the guttering in the area are set correctly. Make good any original surface finish effected as part of the remedial works Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The guttering to the nominated area is to be cleaned and re-graded so as to prevent 	

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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
		overflow during periods of heavy rain	
	INDIVIDUALLY OWNED PROPERTIES. Including Common/Lot Property Assessment		
	Unit 1		
22	<p>Description: Moisture transfer through to the southern elevation wall of the linen closet was previously evident.</p> <p>I am instructed the builder had returned to site and carried out some works within the linen closet which included the removal and replacement of a section of wall render, approx 300mm x 200mm, at the base of the southern elevation wall.</p> <p>The area when tested with a moisture meter showed readings of less than 13% which are considered to be dry.</p> <p>In view of the above, it is therefore considered (agreed to by the unit owner) the leak through to the linen closet has been rectified.</p> <p>Even through the builder appears to have rectified the leak, he is yet to make good the damages caused to original surface finishes as a result of the remedial works.</p> <p>Cause: All the works required to correct the original defect and all other consequential damages as a result of the original defect, exploratory and/or remedial works have not been fully completed.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Seal and patch paint the area of repair prior to re-painting the entire wall area from shadow line to shadow line. The paint used is to match the original for specification and finish Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The wall area once painted is not to look like it has been patched 	

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	I am unable to provide any reason other than speculation as to why the builder failed to complete the rectification works.		
23	<p>Unit 1</p> <p>Description: The grout used to bedroom 1 ensuite floor tiles around the concealed architectural floor waste to both the main floor and shower recess areas is breaking up, losing adhesion and coming out from within the joint line between the tile edge and outer aluminium frame of the waste.</p> <p>Cause: The failure of the grout is due to the minimal thickness (less than 2mm) and the extent of thermal expansion and contraction which will occur to the waste frame.</p> <p>The minimal thickness of the grout will not allow for the expected movement and has therefore cracked and failed.</p> <p>A flexible polysulphide based sealant should have been used at the junction of the tiles and waste frame instead of a hard cement based grout.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Rake out the existing failed hard grout from between the granite floor tiles and floor waste frame of the ensuite floor and shower recess areas. • Tape either side of the joint lines and fill with a colour matched polysulphide based sealant finished with a concave upper face. • Remove the tape prior to the sealant setting. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The failed area of grout is to be removed and replaced with a colour matched flexible sealant 	
24	<p>Unit 1</p> <p>Description: The lock side door gap for the powder room measures up to 8mm in width and is creating a highly visual defect.</p> <p>This is well in excess of the 3mm outlined within the NSW Office of Fair Trading Guide to Standards and Tolerances as an acceptable door gap.</p> <p>Cause:</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Remove the door lock striker plate from the door jamb • Supply and install a 'plant' section of timber down the face of the lock style of the jamb in order to reduce the current excessive gap between the door edge and jamb. • Carry out all filling and patching of the plant section to ensure it is moulded smoothly into the existing jamb without any evidence of it being 	

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>The relationship between the WC and door leaf is extremely tight and as a result, in order to get the door to open past the line of the WC, the door had to be planed back to the present gap.</p> <p>This gapping has solved the opening issue; however it has created a separate visual defect. Home Building Act, Section 18B, Paragraphs A & B.</p>	<p>an addition</p> <ul style="list-style-type: none"> • Allow to make allowances within the planted section to have the striker plate re-fixed. • Seal and prime the plant prior to re-painting the jamb to match the original for specification and finish • Re-fix the striker plate • Make good all original surface finishes affected as part of the remedial works. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The door jamb is to be modified so as to achieve a maximum 3mm door gap 	
25	<p>Unit 1</p> <p>Description: The sliding door and window frames have been provided with a coloured powder-coated finish; however the western end of the sliding door frame to the upper level balcony has been left with a raw ribbed aluminium finish clearly visible.</p> <p>Section 3.1 on page 74 of the building specifications clearly states the windows are all to be powder coated to a material thickness of 50 Microns.</p> <p>This has not been achieved to all of the visible faces</p> <p>Cause: From the way the door and adjoining window frames have been set up (not in a line with each other but stepped approx 50mm) there should have been an end cover section from the window manufacturer supplied and installed to cover the raw edge.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Arrange for the window manufacturer to supply and install a snap on section of matching powder coated materials to cover the exposed aluminium to the western end of the sliding door. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • A colour and finished matched section of aluminium trim is to be supplied and installed to create a factory finish to the western end 	


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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	I am unable to provide any reason, other than speculation, as to why the builder failed to supply and install the required finish section.		
26	<p>Unit 1</p> <p>Description: The rubber seal fitted to the sill section of the southern facing kitchen window is not of a sufficient width to reach the top of the angled masonry sill.</p> <p>The sill has not been constructed with sufficient width and angle to reach the underside of the window frame and therefore allow the rubber weather seal to cover the transition area.</p> <p>As a result of the incorrect detailing, the cavity area below the window is now open to wind driven rain and vermin entry.</p> <p>Cause: The final rendering of the sill was not carried out in order to terminate sufficiently up and under the window sill section to enable the sealing strip to rest down over the top of the brick sill.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Scabble back the surface of the sill render back to either base masonry or clean render. • Apply a bonding agent similar. • Re-render the sill ensuring its new profile will allow for the rubber sealing strip to fully cover the junction between sill and window frame. • Seal and patch paint the new works • Allow to re-paint the new sill and effected wall sections from shadow line to shadow line in a paint to match the original for specification and finish • Make good all original surface finishes affected as part of the remedial works. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The window sill is to be re-profiled so as the factory fit rubber sealing strip will reach down onto the new profile 	
27	<p>Unit 1</p> <p>Description: I am instructed by the unit owner that cornice sections to the following perimeter walls had failed at the ceiling to cornice junction lines resulting in cracks in excess of 1mm in width forming.</p> <ul style="list-style-type: none"> • Western elevation wall of bedroom 1. 	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Mechanically fix the cornice sections to the ceiling. • Carefully scrape back and remove the excess glue from previous rectification attempts • Carry out any and all necessary plaster repairs 	




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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<ul style="list-style-type: none"> Eastern elevation wall of front northern patio area. Southern elevation wall of lounge. <p>The owner has previously carried out his own repairs in order to stop the cracking from continuing.</p> <p>He has adhered the cornice sections back into position, however in the act of doing this work; some adhesive smearing is now evident to the cornice and ceiling to the affected areas.</p> <p>Cause: The cracking is a result of this section of cornice being unable to accommodate the movement experienced within the main structure of the building due to the different rates of movement between the concrete (will shrink) and masonry (will expand) members.</p> <p>Without adequate precautions such as functioning slip and control joints, uncontrolled cracking will be the result.</p>	<p>to the cornice and ceiling from the mechanical fixing and glue removal procedures. Leave ready for painting</p> <ul style="list-style-type: none"> Seal and patch paint the areas of repair to the cornice and ceiling. Allow to re-paint the affected areas of ceiling and cornice from shadow line to shadow line using a paint to match the original for specification and finish. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The cornice is to be soundly fixed into position and damage caused by the previous repair attempts fully rectified. The ceiling and cornice is are to be repainted and show no indication of repairs 	
28	<p>Unit 1</p> <p>Description: Corrosion type staining is evident within the marble wall tile to the wall area underneath bedroom 1 ensuite vanity cabinet.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Remove the affected wall tiles and closest floor tiles ensuring the existing waterproofing arrangements are left undamaged and/or are repaired. 	

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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>The area of staining is at the base of the tile and is approx 50mm in diameter.</p> <p>At this point of time only two tiles are affected.</p> <p>Cause: Without destructive exploratory works, a precise cause is unable to be determined, however it is considered to have been caused by a nail or small piece of ferrous steel contaminate being within the floor tile bedding and the staining is leaching up the rear of the wall tile via capillary action.</p>	<ul style="list-style-type: none"> Identify and remove the corrosion affected tile bedding including the cause. Supply and lay new floor and wall tiles finished off to match the existing. Make good all original surface finishes affected as part of the remedial works. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The corrosion stained tile is to be removed and replaced whilst leaving a finish to where repairs are not evident 	
29	<p>Unit 1</p> <p>Description: Moisture transfer through to the southern elevation wall of the linen closet was previously evident.</p> <p>I am instructed the builder had returned to site and carried out works within the linen closet which appear to have addressed the defect, see item 22 above.</p> <p>I am instructed by the unit occupant that since these repairs have occurred he is now noticing water/moisture transfer through bedroom 1 ensuite eastern elevation wall which backs on to the powder room.</p> <p>This now constant moisture is resulting in efflorescence growth at the wall to floor junction of the ensuite eastern elevation wall and the corrosion staining noted in item 28 above.</p> <p>Cause: It was previously considered that a water leak may be evident at the</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Plumber to disconnect the cistern from the WC Carefully remove the WC and store for re-use Plumber to check on all concealed drainage line fittings and replace sealing rings etc where applicable Re-fix the WC and re-connect the cistern. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The WC is to be removed and re-fixed ensuring that all plumbing connections are checked and made 100% waterproof so as to prevent any further leakage 	 

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	base of the concealed powder room WC and that this is now tracking through to the ensuite instead of the linen closet as before.		
30	<p>Unit 1</p> <p>Description: The bi-fold doors to the lower level laundry alcove have failed and fallen off due to fixings pulling from the doors etc.</p> <p>There is no evidence to suggest the failure is due to misuse by the occupant as the Unit is maintained to a very high quality standard.</p> <p>Cause: It is considered the tracks and fittings used for the laundry were not suitable for use with heavy doors and as such they have failed with constant use.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Remove the existing track and doors. Make all necessary repairs and re-fix the track ensuring the components used are suitable for the type, size and weight of doors to be used. Make good all original surface finishes affected as part of the remedial works. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The track fittings and fixtures are to modified/replaced to the point the doors will operate as originally intended 	
31	<p>Unit 1</p> <p>Description: Vertical cracking to the southern elevation yard retaining wall was evident to the following areas:</p> <ul style="list-style-type: none"> Cracking of up to 5mm in width to the angled section of wall to the south western corner. Cracking of up to 1.5mm in width to the southern section of wall at approx mid span. <p>The render either side of the crack was checked and found to be emitting a drummy noise indicating loss of adhesion with the base wall.</p> <p>Cause:</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Allow to diamond saw cut the render for a distance of approx 1000mm either side of the existing crack line Remove the render back to the base masonry Supply and fix stainless steel Heli-fix bars across the crack line in accordance with the manufacturers recommendations Supply and fix stainless steel expanded mesh over the exposed masonry area Allow to re-render the area using a 6:1:1 mix ensuring the new render is finished off flush with all adjoining surfaces and matches the original for texture and profile. 	



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>The cracking is a result of this section of wall being unable to accommodate the movement experienced.</p> <p>Without adequate precautions such as functioning slip and control joints, uncontrolled cracking will be the result.</p>	<ul style="list-style-type: none"> Seal and patch paint the areas of repair prior to re-painting the affected wall areas from shadow line to shadow line. Make good all original surface finishes affected as part of the remedial works Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The area of cracked render is to be removed and replaced, the wall stitched and on completion the wall is not to appear to have been patch repaired in that the finish is to be uniform 	  
	Unit 2		



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
32	<p>Unit 2</p> <p>Description: The western elevation (perimeter wall) cornice to the bed 1 covered patio area has become detached from the soffit area resulting in a crack of up to 2.5mm in width forming along this junction line</p> <p>Cause: The cracking is a result of this section of cornice being unable to accommodate the movement experienced within the main structure of the building due to the different rates of movement between the concrete (will shrink) and masonry (will expand) members.</p> <p>Without adequate precautions such as functioning slip and control joints, uncontrolled cracking will be the result.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Mechanically fix the cornice sections to the ceiling. Carry out any and all necessary plaster repairs to the cornice and ceiling from the mechanical fixing procedure. Leave ready for painting Seal and patch paint the areas of repair to the cornice and ceiling. Allow to re-paint the affected areas of ceiling and cornice from shadow line to shadow line using a paint to match the original for specification and finish. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The cornice is to be soundly fixed into position and damage caused by the previous repair attempts fully rectified. The ceiling and cornice is are to be repainted and show no indication of repairs 	
33	<p>Unit 2</p> <p>Description: The western elevation (perimeter wall) cornice to the lounge covered patio area has become detached from the soffit area resulting in a crack of up to 2.5mm in width forming along this junction line</p> <p>Cause: The cracking is a result of this section of cornice being unable to accommodate the movement experienced within the main structure of the building due to the different rates of movement between the</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Mechanically fix the cornice sections to the ceiling. Carry out any and all necessary plaster repairs to the cornice and ceiling from the mechanical fixing procedure. Leave ready for painting Seal and patch paint the areas of repair to the cornice and ceiling. Allow to re-paint the affected areas of ceiling and cornice from shadow line to shadow line using a paint to match the original for 	


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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>concrete (will shrink) and masonry (will expand) members.</p> <p>Without adequate precautions such as functioning slip and control joints, uncontrolled cracking will be the result.</p>	<p>specification and finish.</p> <ul style="list-style-type: none"> Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The cornice is to be soundly fixed into position and damage caused by the previous repair attempts fully rectified. The ceiling and cornice is are to be repainted and show no indication of repairs 	
34	<p>Unit 2</p> <p>Description:</p> <p>There is no handrail servicing the three riser stair flight leading from the bed 1 covered patio area up to the grassed courtyard.</p> <p>The stairs in their current state pose a safety concern due to there being no suitable place to steady the user in case of a stumble.</p> <p>Cause:</p> <p>The stairs were not constructed correctly in relation to the handrail provisions.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Supply and install a handrail to one side over the set of stairs. The handrail is to match those used in other external areas of the development or be sympathetic to the design and quality of the materials used as well as being suitable for a marine environment. The installation is to comply with the current BCA regulations. Make good any original finish affected as apart of the remedial works Clean up on completion <p>Performance Requirement</p> <ul style="list-style-type: none"> The effected stairs are to have a suitable handrail installed (matching the existing) ensuring compliance is achieved with the BCA provisions for handrail design and installation 	

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Item No	Item Description, Position & Cause		Scope of Works Required	Photograph If Necessary Or Applicable
	Unit 3			
35	<p>Description: A horizontal crack with delamination of the wall render is evident to the northern elevation wall of the north eastern corner bedroom.</p> <p>It would appear that the wall has been re-painted over, however the crack and the delaminated render, confirmed by tapping with a metallic object, and is still evident.</p> <p>The positioning of the crack is approx 40mm above the line of a struck joint within the render.</p> <p>Cause: As the struck joint line within the render is only approx 3mm in depth it is therefore forming little or no purpose in controlling cracking.</p> <p>In order to be effective, the joint line has to be positioned correctly (at the junction between dissimilar base materials and be set for the full depth of the render).</p>		<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Carefully cut and remove the area of delaminated render for a distance of approx 250mm either side of the crack lines. Treat the base masonry wall with a bonding agent similar to 'Bondcrete'. If considered necessary, cut and place stainless steel expanded mesh over the crack line to provide some form of reinforcement and resistance to future cracking. Re-render the area of repair ensuring the render is finished off flush with the adjoining surfaces and with a texture to match the existing. Ensure that the required struck joint line is correctly positioned and detailed within the new render. Seal and patch paint the areas of repair prior to re-painting the affected areas from shadow line to shadow line. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The area of cracked render is to be removed and replaced and on completion the wall is not to appear to have been patch repaired in that the finish is to be uniform 	
36	Unit 3		<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Carefully remove and store the window for re- 	
	Description:			

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>External water entry in the form of staining and damage to the wall and sill linings is evident beside and below the fixed glass window to the south east corner of the lounge.</p> <p>When tested with a moisture meter, readings in excess of 20% were taken.</p> <p>It was noted that some minor paint repairs and touch ups had been carried out; however the issue regarding the water entry is still to be addressed.</p> <p>Cause: Without carrying out destructive exploratory works, an exact cause is unable to be determined at this point of time, however it is considered the cause is either missing or incorrectly installed sill flashing.</p>	<p>use.</p> <ul style="list-style-type: none"> • Supply and install new sill flashing ensuring correct detailing into the cavity flashing to prevent any water from entering the dwelling. • Re-fix the window frame. • Seal and patch paint any areas of repairs prior to re-painting from shadow line to shadow line so as to match the existing for specification and finish • Make good all original surface finishes affected as part of the remedial works. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The remedial works are to correct the current leak and to prevent the leak from recurring. • All repairs are to match the existing for specification and finish and not be apparent as a repair 	
37	<p>Unit 3</p> <p>Description: External water entry in the form of staining and damage to the wall and skirting is evident to the northern elevation side of the lower eastern elevation bedroom sliding door leading out to the yard.</p> <p>It should be noted that a planter box is positioned directly outside this door and abuts the external wall of the bedroom.</p> <p>When tested with a moisture meter, readings in excess of 20% were taken.</p> <p>It was noted that a section of the skirting had been removed and</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Carry out further tests to accurately determine the precise cause of the water entry. • Carry out all works necessary in order to correct the current leak and to prevent any recurrences. • Make good all original surface finishes affected as part of the remedial works. • Clean up on completion. • P.A of \$12,000.00 	


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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>bulk sealant had been applied at the base of the door jamb.</p> <p>No further works had been attempted and it was clear from the moisture reading that the water leak is still occurring</p> <p>Cause: Without carrying out destructive exploratory works, an exact cause is unable to be determined at this point of time, however it is considered the cause is a failure and/or defect to the wall cavity flashing and waterproof membrane interface which is allowing moisture to transfer through to the dwelling's internals.</p>	<p>Performance Requirement</p> <ul style="list-style-type: none"> The remedial works are to test, identify and correct the current leak and to prevent the leak from recurring. All repairs are to match the existing for specification and finish and not be apparent as a repair 	
38	<p>Unit 3</p> <p>Description: External water entry is noted in the form of staining and damage to the northern elevation patio soffit directly adjacent to the soffit mounted light.</p> <p>This balcony is directly below the northern elevation balcony for Unit 6.</p> <p>When tested with a moisture meter, readings in excess of 20% were taken.</p> <p>Cause: Without carrying out destructive exploratory works, an exact cause is unable to be determined at this point of time, however it is considered the cause is a failure and or defect to the waterproofing of the northern elevation balcony of Unit 6.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Strip the tiles, bedding and waterproofing from the northern elevation balcony of Unit 6. Supply and install a new polyurethane waterproof membrane ensuring it is correctly detailed into the balcony door sill flashing and turned down into the drainage points. The membrane is to be turned up the perimeter walls but finished to a height no higher than the skirting tile line Lay a new sand/cement tile bed with correct falls towards the drainage points Apply a secondary membrane over the sand cement screed Supply and install new replacement tiles (PC'd \$40:00 sqm) adhered directly to the tile bed membrane using a compatible adhesive Allow to install all required perimeter and intermediate control joints Allow to paint all perimeter balustrade and external wall using an elastomeric paint colour matched to the original ensuring the paint is run down past and over the line of the 	



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
		<p>membrane turn up</p> <ul style="list-style-type: none"> • Fix skirting tiles, grout and clean • Carry out minor plaster patching to the moisture effected soffit. • Seal and patch paint the area of repairs • Re-paint the soffit area from shadow line to shadow line using a paint to match the original for specification and finish • Make good all original surface finishes affected as part of the original leak and remedial works. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The remedial works are to correct the current leak and to prevent the leak from recurring. • All repairs are to match the existing for specification and finish and not be apparent as a repair 	
	Unit 4		
39	<p>Description: The skirting boards to the eastern and western elevation walls of the lounge, previously were not fixed soundly to the walls and cracking resulted at the skirting to wall interface.</p> <p>I am instructed the builder had returned to site and carried out some works which included fixing the skirtings back into position via screwing.</p> <p>The builder appears to have rectified the loose fixing of the skirtings, however he has failed to make good the fixing holes and where filler has been used at the junction of the skirting to the wall</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Fill and cover over the fixing screws with a suitable epoxy style filler. • Sand smooth the filler to achieve a finish flush with the existing skirting matching its profile and plane. • Seal and patch paint the areas of repairs prior to re-painting the entire skirting and wall area from shadow line to shadow line using paints to match the original for specification and finish. • Clean up on completion. 	



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>Cause: All the works required to correct the original defect and all other consequential damages as a result of the original defect, exploratory and/or remedial works have not been fully completed. I am unable to provide any reason other than speculation as to why the builder failed to complete the rectification works.</p>	<p>Performance Requirement</p> <ul style="list-style-type: none"> The remedial works are to cover over the existing poorly finished mechanical fixings for the skirting. All repairs are to match the existing for specification and finish and not be apparent as a repair 	
40	<p>Unit 4</p> <p>Description: A horizontal crack and fracturing of the wall render was previously evident to the northern elevation wall of the stairwell.</p> <p>I am instructed the builder had returned to site and carried out some works which included patching and re-plaster setting to the wall.</p> <p>The builder appears to have rectified the original cracking, however he has failed to complete the works by painting over the repairs.</p> <p>Cause: All the works required to correct the original defect and all other consequential damages as a result of the original defect, exploratory and/or remedial works have not been fully completed.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Sand smooth the existing filler to achieve a finish flush with the existing wall matching its profile and plane. Seal and patch paint the area of repairs prior to re-painting the entire wall area from shadow line to shadow line using paints to match the original for specification and finish. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The remedial works are to complete partially attended to repairs. 	

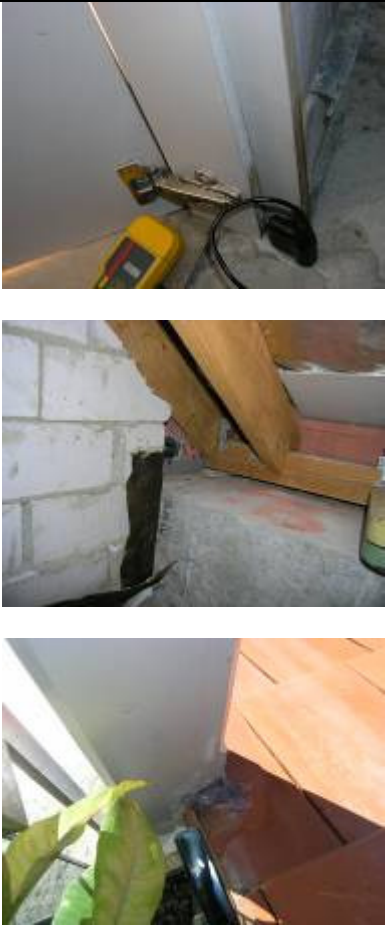
Address

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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	I am unable to provide any reason other than speculation as to why the builder failed to complete the rectification works.	<ul style="list-style-type: none"> All repairs are to match the existing for specification and finish and not be apparent as a repair 	
41	<p>Unit 4</p> <p>Description: The head track for the upper level laundry alcove bi-fold doors are not securely fixed to the head and are therefore creating a gap of up to 2mm between the head track and timber reveal.</p> <p>The deflection of the track is affecting the operation of the doors to the point where they are difficult to open and close.</p> <p>There is no evidence to suggest the failure is due to misuse by the occupant as the Unit is maintained to a very high quality standard.</p> <p>Cause: It is considered the tracks and fixings used for the laundry were not suitable for use with heavy doors and as such they have failed with constant use.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Remove the existing track and doors. Make all necessary repairs and re-fix the track ensuring the components used are suitable for the type, size and weight of doors to be used. Make good all original surface finishes affected as part of the remedial works. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The track fittings and fixtures are to modified/replaced to the point the doors will operate as originally intended 	
42	<p>Unit 4</p> <p>Description: The glass panel to the east side sliding door within the lounge southern elevation has a stain within the glass which takes on the appearance of shading.</p> <p>The stained area of glass was vigorously scrubbed with glass cleaner on both sides of the glass so as to confirm the staining is</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Glazier to remove and replace the flawed section of glass within the door frame. Make good all original surface finishes affected as part of the remedial works. Clean up on completion. 	




Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>within the glass.</p> <p>This visual item is clearly evident during daylight hours and as this is a picture window with views down the harbour the occupant has the windows very clean and as such the stain becomes more obvious.</p> <p>Cause: It is considered the glass section was faulty from the factory.</p>	<p>Performance Requirement</p> <ul style="list-style-type: none"> The flawed pane of glass is to be removed and replaced with a pane of glass that matches the original for specification and finish but is clear without flaws or blemishes 	
42a	<p>Description: External water entry in the form of staining and damage to the roof cavity void storage area door frame, door and adjoining skirtings.</p> <p>The base of the door has swelled to the point where it will only open to approximately 70deg.</p> <p>I am instructed by the occupant that they first noticed water within the storage area after the most recent heavy rainstorms.</p> <p>They were able to test the area and replicate the leak by pouring water onto the tiled roof externally (positioned to the eastern side of the small balcony area) around the balcony roof support post.</p> <p>As a result of these tests, the occupant has placed large amounts of silicone sealant at the post to roof tile intersection.</p> <p>Water tests carried out during the inspection would appear to confirm the emergency works carried out by the owner have either been successful in stopping the leak or have reduced it to the point where it was not noticeable during the test, but may still be apparent during long term rain.</p> <p>There was no evidence to suggest that works and/or damage had occurred to this area of roof tiling and/or flashing after the initial</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Remove the roof tiles from the small area of roofing around the balcony roof support post. Clean off the occupant installed silicone sealant Inspect the lead flashing, sarking roof tile detailing and make all necessary changes, modifications and or repairs to ensure a waterproof detail Re-fit replacement roof tiles and make good the barge end bedding and pointing Remove and replace the water damaged door jamb and door All new and modified painted surfaces are to be primed and undercoated prior to being repainted to match the original for specification and finish Make good all original surface finishes affected as part of the remedial works. Clean up on completion. <p>Performance Requirement</p>	 




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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>contracted works had been completed.</p> <p>When the areas of water damage were tested with a moisture meter, the readings were all around the 12% region which is considered to be dry.</p> <p>It is considered the dry readings are as a result of the occupant actively taking measures to temporarily stop the leak and to dry out the storage area</p> <p>Cause: Without carrying out destructive exploratory works, (lifting tiles will affect the barge bedding and pointing) an exact cause is unable to be determined at this point in time, however it is considered the cause is defective lead flashing installation around the balcony roof support post allowing water to enter into the roof cavity storage area.</p>	<ul style="list-style-type: none"> The remedial works are to test, identify and correct the current leak and to prevent the leak from recurring. All repairs are to match the existing for specification and finish and not be apparent as a repair 	



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
			
	Unit 5		
43	<p>Description: There is direct access for vermin within the north eastern corner area eaves lines.</p> <p>When viewing from within the roof cavity storage area, clear access measuring approx 120mm x 40mm is available from external to internal which will allow vermin to enter.</p> <p>Cause: The detailing of the eaves linings was not correctly carried out so as to ensure the roof area was adequately sealed and gaps kept to a minimum.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Fill the open hole with expanding foam ensuring adequate precautions are taken to prevent the foam from spilling over externally and becoming a further visual defect. • Make good all original surface finishes affected as part of the remedial works. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The excessive sized access hole through the external envelope is to be permanently filled so as to prevent vermin entry 	 
44	<p>Unit 5</p> <p>Description:</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Supply and install replacement lift off hinges to 	



Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>The door to the upper level bedroom 1 ensuite has not been fitted with lift off hinges even though the WC pan is located within 1200mm of the door opening and the door is hinged to open into the room.</p> <p>This is a safety requirement to prevent collapsed persons from being trapped.</p> <p>Cause: The correct door frame and/or hinges were not installed at the time of construction.</p>	<p>the door.</p> <ul style="list-style-type: none"> • Ensure the door is cut down sufficiently in height to enable the lift off option to operate correctly. • Supply and install a new door stop section to increase the depth of the head door stop. • Prime, undercoat and re-paint all new and affected surface finishes so as to match the existing for specification and finish on completion. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The existing hinges are to be replaced with lift off hinges and the door modified to ensure their ability to operate as intended • All repairs are to match the existing for specification and finish and not be apparent as a repair 	 
	Unit 6		
45	<p>Description: A horizontal crack and fracturing of the wall render was previously evident to the northern elevation wall of the north eastern corner of the bedroom.</p> <p>I am instructed the builder had returned to site and carried out some works which included raking out the delaminated render and re-filling.</p> <p>The builder appears to have rectified the original cracking however he has failed to complete the works by painting over the repairs.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Rub down render patching to achieve a finish flush with the existing wall matching its profile and plane. • Seal and patch paint the area of repairs prior to re-painting the entire wall area from shadow line to shadow line using paints to match the original for specification and finish. • Clean up on completion. 	

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>Cause: All the works required to correct the original defect and all other consequential damages as a result of the original defect, exploratory and/or remedial works have not been fully completed.</p> <p>I am unable to provide any reason, other than speculation, as to why the builder failed to complete the rectification works.</p>	<p>Performance Requirement</p> <ul style="list-style-type: none"> The remedial works are to complete partially attended to repairs. All repairs are to match the existing for specification and finish and not be apparent as a repair 	
46	<p>Unit 6</p> <p>Description: A vertical crack within the cornice corner joint extending to the cornice to ceiling junction was previously evident to the eastern elevation wall of the kitchen.</p> <p>I am instructed the builder had returned to site and carried out some works which included re-fixing of the cornice and plaster filling of the cracks.</p> <p>The builder appears to have rectified the original cracking however he has failed to complete the works by painting over the repairs</p> <p>Cause: All the works required to correct the original defect and all other consequential damages as a result of the original defect, exploratory and/or remedial works have not been fully completed.</p> <p>I am unable to provide any reason, other than speculation, as to why the builder failed to complete the rectification works.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Sand smooth the existing filler to achieve a finish flush with the existing cornice matching its profile and plane. Seal and patch paint the area of repairs prior to re-painting the two effected cornice sections from shadow line to shadow line using paints to match the original for specification and finish. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The remedial works are to complete partially attended to repairs. All repairs are to match the existing for specification and finish and not be apparent as a repair 	
47	<p>Unit 6</p> <p>Description: The stainless steel faced kickboard section in front of the dishwasher had originally been removed by the builder due to a</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Supply and install concealed fixing for the replacement section of kickboard to ensure it remains solidly fixed, is in line with the original 	

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>delamination issue but the replacement item had not been supplied.</p> <p>I am instructed the builder had returned to site, supplied and installed a new kickboard section; however this new section is not solidly fixed into position and will get knocked back out of alignment with the slightest touch.</p> <p>Cause: All the works required to correct the original defect such as fixing of the replacement section have not been fully completed.</p> <p>I am unable to provide any reason, other than speculation, as to why the builder failed to complete the rectification works.</p>	<p>kickboards and can easily be removed without damage.</p> <ul style="list-style-type: none"> Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The kickboard is to be fixed back into position, however it is to allow for quick and easy removal for dishwasher servicing when required without damaging the kickboard or dishwasher 	
48	<p>Unit 6</p> <p>Description: External water entry in the form of staining and damage to the wall and sill linings are evident beside and below the fixed glass window to the south eastern corner of the lounge.</p> <p>When tested with a moisture meter, readings in excess of 20% were taken.</p> <p>It was noted that some minor paint repairs and touch ups had been carried out along with copious amounts of mastic sealant externally; however the issue regarding the water entry was still to be addressed.</p> <p>Cause:</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Carefully remove and store the window for re-use. Supply and install new sill flashing ensuring correct detailing into the cavity flashing to prevent any water from entering the dwelling. Re-fix the window frame. Seal and patch paint any areas of repairs prior to re-painting from shadow line to shadow line so as to match the existing for specification and finish Make good all original surface finishes affected as part of the remedial works. Clean up on completion. 	



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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>Without carrying out destructive exploratory works, an exact cause is unable to be determined at this point of time, however it is considered the cause is either missing or incorrectly installed sill flashing. water entry.</p>	<p>Performance Requirement</p> <ul style="list-style-type: none"> The remedial works are to correct the current leak and to prevent the leak from recurring. All repairs are to match the existing for specification and finish and not be apparent as a repair 	
49	<p>Unit 6</p> <p>Description: The sliding door to the upper level southern elevation balcony will not operate with the key and therefore cannot be locked.</p> <p>The key, which fits all other sliding doors, can be inserted and turned, however the lock will not engage.</p> <p>I am instructed the lock has been in this condition since initial handover.</p> <p>This is seriously compromising security for the Unit</p> <p>Cause: Without pulling the lock apart, an exact cause is unable to be</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Locksmith to check lock and make all necessary adjustments and/or repairs to ensure it operates as originally intended. Make good all original surface finishes affected as part of the remedial works. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The lock is to be modified and repaired so as to ensure it operates as originally intended and a key is supplied 	


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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	determined at this point of time, however it is considered the lock was most likely faulty at the time of installation.		
50	<p>Unit 6</p> <p>Description: Corrosion type staining is evident within the marble border tile on the floor to the western side of the ensuite bathroom.</p> <p>The staining is affecting one tile only and appears to be leaching into the tile from the bed underneath.</p> <p>Cause: Without destructive exploratory works a precise cause is unable to be determined, however it is considered to have been caused by a nail or small piece of ferrous steel contaminate being within the floor tile bedding and the staining is leaching up the rear of the border tile by capillary action.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Remove the affected border tiles and closest floor tile ensuring the existing waterproofing arrangements are left undamaged and/or are repaired. Identify and remove the corrosion affected tile bedding including the cause. Supply and lay new floor and wall tiles finished off to match the existing. Make good all original surface finishes affected as part of the remedial works. Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> The corrosion stained tile is to be removed and replaced whilst leaving a finish to where repairs are not evident 	
51	<p>Unit 6</p> <p>Description: External water entry in the form of staining and damage to the wall linings within bedroom 1 south western corner over the deck.</p> <p>When tested with a moisture meter, readings in excess of 30% were taken.</p> <p>The area of the leak is directly under the line of the external eastern elevation wall of the southern elevation roof dormer.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> Remove the roof tiles from the area of the dormer. Inspect the lead flashing, sarking roof tile detailing and make all necessary changes, modifications and or repairs to ensure a waterproof detail Carry out minor plaster repairs to the water effected internal surface finishes All new and modified painted surfaces are to be primed and undercoated prior to being re- 	

Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	<p>I am instructed the builder had previously returned to site and attempted to rectify the leak.</p> <p>The bottom corner weatherboard has been removed (lost) and large amounts of mastic type sealant have been used externally.</p> <p>Cause: Without carrying out destructive exploratory works, an exact cause is unable to be determined at this point of time, however it is considered the cause is issues with the lead soaker flashing and sarking.</p>	<p>painted to match the original for specification and finish</p> <ul style="list-style-type: none"> • Make good all original surface finishes affected as part of the remedial works. • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The remedial works are to test, identify and correct the current leak and to prevent the leak from recurring. • All repairs are to match the existing for specification and finish and not be apparent as a repair 	 
52	<p>Unit 6</p> <p>Description: Vertical cracking and delamination to the wall render is evident to the southern facing external wall under the kitchen window.</p> <p>Due to height and access restrictions, the render either side of the crack was unable to be checked to test the adhesion, however visual evidence such as partially dislodged sections of render along the crack line would indicate that delamination is evident.</p> <p>Cause: The cracking is a result of this section of wall being unable to accommodate the movement experienced within the main structure of the building due to the different rates of movement between the concrete (will shrink) and masonry (will expand) members.</p>	<p>Allow to carry out the following works:</p> <ul style="list-style-type: none"> • Carefully cut and remove the area of delaminated render for a distance of approx 250mm either side of the crack lines. • Treat the base masonry wall with a bonding agent similar to 'Bondcrete'. • If considered necessary, cut and place stainless steel expanded mesh over the crack line to provide some form of reinforcement and resistance to future cracking. • Re-render the area of repair ensuring the render is finished off flush with the adjoining surfaces and with a texture to match the existing. • Seal and patch paint the areas of repair prior to 	

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Item No	Item Description, Position & Cause	Scope of Works Required	Photograph If Necessary Or Applicable
	Without adequate precautions such as functioning slip and control joints, uncontrolled cracking will be the result.	<p>re-painting the affected areas from shadow line to shadow line.</p> <ul style="list-style-type: none"> • Clean up on completion. <p>Performance Requirement</p> <ul style="list-style-type: none"> • The area of cracked render is to be removed and replaced and on completion the wall is not to appear to have been patch repaired in that the finish is to be uniform 	

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**TENDER FORM
FOR <<>>
BRIEF DESCRIPTION OF WORK**

Please note:

- 1. You are to visit site to view the works contained in this document**
- 2. You are to read this document in its entirety**
- 3. Scope must be adhered to**
- 4. No alternatives are to be made without prior approval of the author.**

1.	Preliminaries	\$
2.		\$
3.		\$
4.		\$
5.		\$
6.		\$
7.		\$
8.		\$
9.		\$
10.		P.A - \$6,000.00
11.		\$
12.		\$
13.		\$
14.		\$
15.		\$
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17.		P.A - \$6,000.00
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P.A - \$12,000.00

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Address

42.	\$
42a.	\$
43.	\$
44.	\$
45.	\$
46.	\$
47.	\$
48.	\$
49.	\$
50.	\$
LUMP SUM TENDER PRICE INCLUDING GST	\$

Estimated Project Time.....Weeks

Estimated Lead Time.....Weeks

Signed Date

Company Builders Licence No.....

Contact..... Mobile

Phone Fax.....

Email

PLEASE ENSURE CONTRACT DETAILS ARE COMPLETED ON THE FOLLOWING PAGE

Address

To help expedite the issuing of a contract please fill out the contract conditions. Those conditions already shown will be automatically inserted into the contract unless you advise Integrated that you wish them negotiated.

CONTRACT CONDITIONS:

Liquidated Damages

On the Builder \$500 Per Calender Week

On the Owner for Delay \$250 Per Calender Week

Builders Margin

On Variations and/or Provisional Sums 20%

Payment Terms

14 Days after approval of Superintendent

Interest on Late Payments

1.5% Per Month

Contract Maintenance Period

16 Weeks

Labour Rates (Tenderers to complete)

*(These are to be used with reference to approved work carried out by the **Builder's** employees which is in addition to the contract work – **rates to be inclusive of GST**)*

Foreman	\$	Floor & Wall Tiler	\$
Plumber	\$	Plasterer	\$
Electrician	\$	Painter	\$
Carpenter	\$	Labourer – Skilled	\$
Bricklayer	\$	Labourer - Unskilled	\$

SPECIAL NOTE

1. Ensure that all Prime Cost and Provisional Sums are clearly shown in your tender.
2. The Scope and the Contract agreement will take order of precedence over the tenderer's quotation.